

AGRICULTURAL NOTES

This subdivision is in an agriculturally zoned district, it does have active farming operations in the vicinity. Be advised of the following:

1. That farming does not only occur between 8:00 am and 5:00 P.M. and is dependent upon "Mother Nature"; Residents should be aware of noise from agricultural machinery being operated in nearby fields in both early morning and evening hours and noise from crop-drying fans which are run 24 hours a day during the harvesting season.
2. That the roads leading to and from the subdivision are frequently traveled by farmers and their slow moving farm vehicles and equipment.
3. That farm neighbors very often spray their crops with pesticides in accordance with accepted practices regulated by the New York State Department of Environmental Conservation (D.E.C. Notification Law Number 325, October 1988)
4. That existing agricultural operations may create both unavoidable odors and unsightliness commonly associated with farming operations in the area.
5. That there are dangers in letting children and pets roam into any adjacent agricultural field, which is private property.

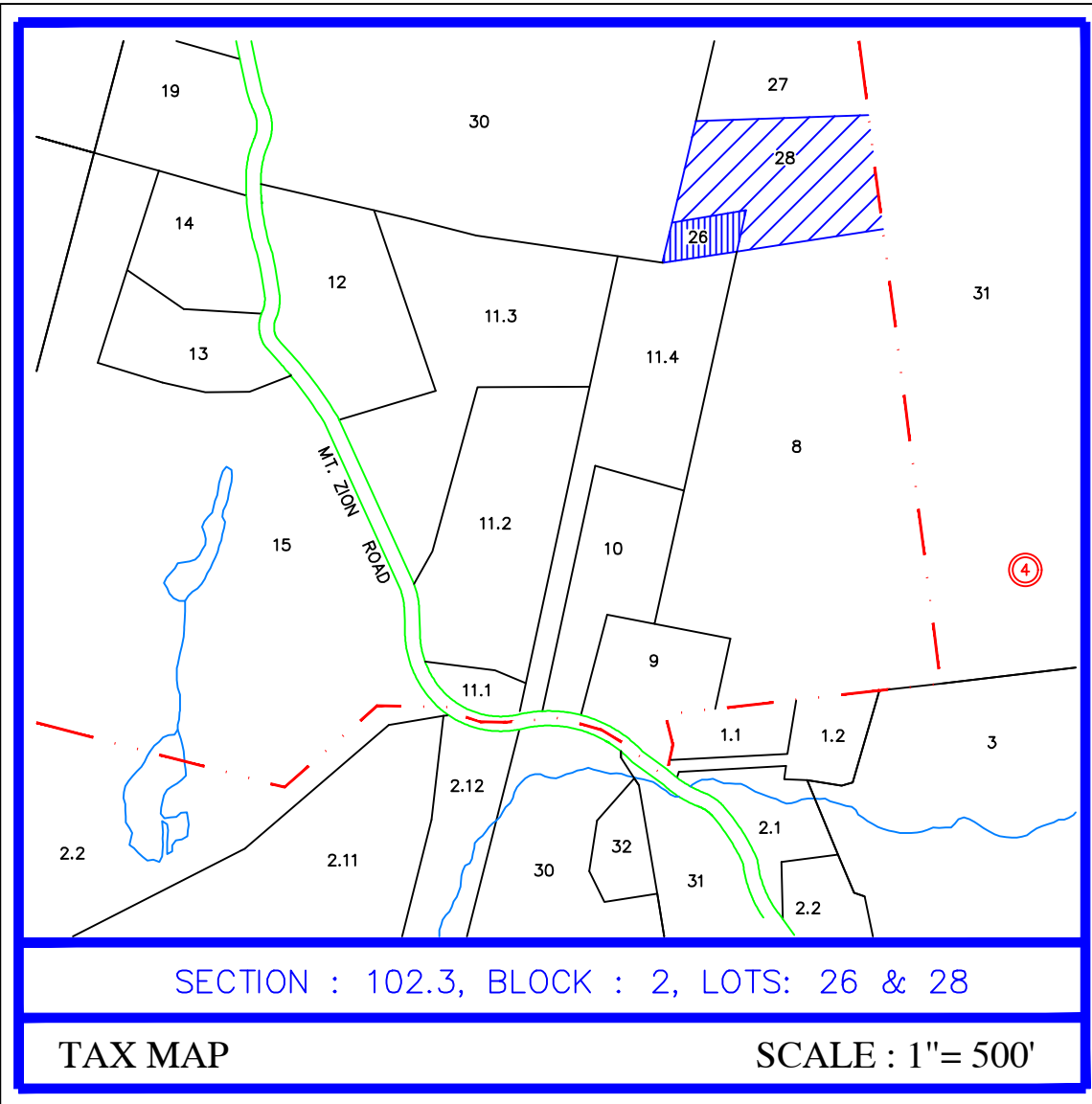
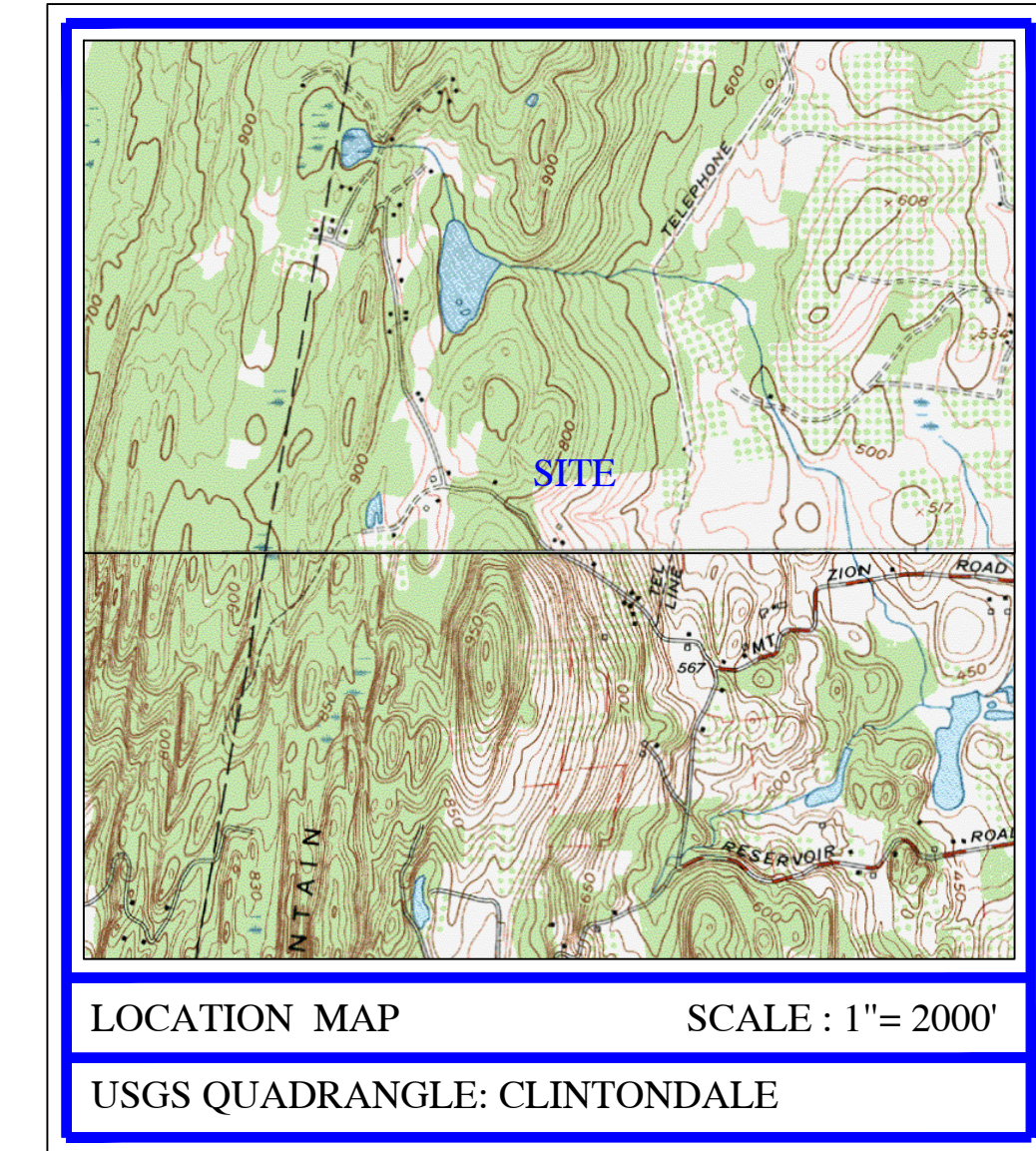
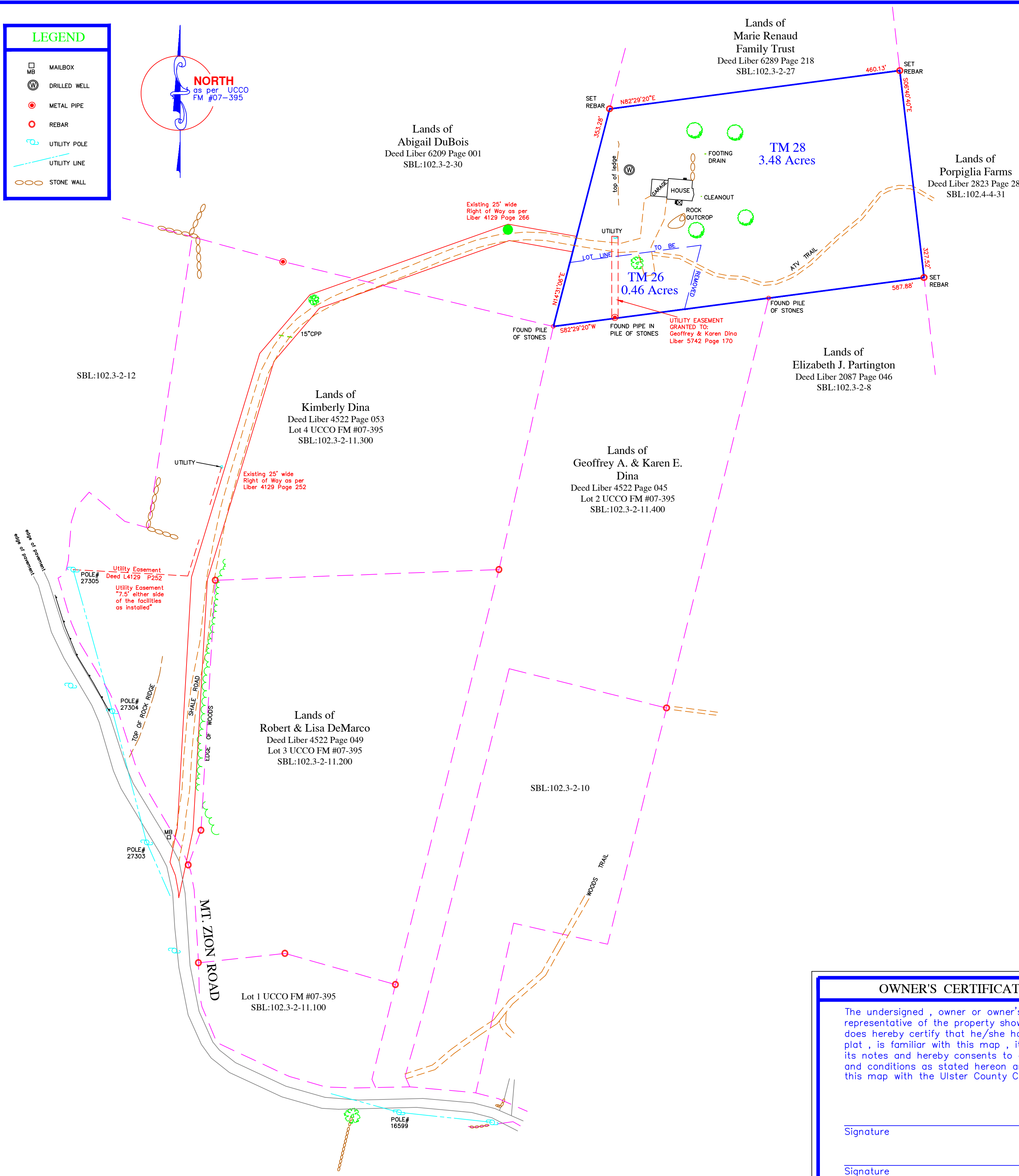
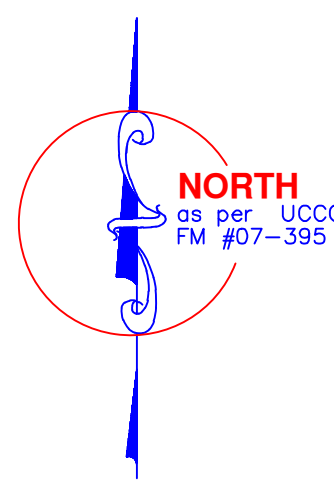
TABLE OF BULK REQUIREMENTS

ZONING DISTRICT	R-Ag-1
MINIMUM LOT AREA	1 ACRE
MINIMUM LOT WIDTH	150'
MINIMUM LOT DEPTH	200'
MINIMUM FRONTYARD SETBACK	50'
MINIMUM SIDEYARD SETBACK	35'/80'
MINIMUM REARYARD SETBACK	75'
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM BUILDING COVERAGE	20%
MIN. AGRICULTURAL SETBACK	75'

Parcel is located within the Ridgeline Protection Area and is therefore subject to all provisions promulgated thereunder.

LEGEND

- MAILBOX
- DRILLED WELL
- METAL PIPE
- REBAR
- UTILITY POLE
- UTILITY LINE
- STONE WALL



TOTAL AREA : 3.94 ACRES

DEED REFERENCE :

Matthew R. Dina
 - to -
 Matthew R. Dina and
 Melanie Goodall (k/n/a Melanie Dina)
 Deed Liber 4168 Page 021
 Dated 07 October, 2005

RECORD OWNER :

Matthew R. Dina and
 Melanie Goodall (k/n/a Melanie Dina)
 200 Mt. Zion Rd.
 Marlboro, NY 12542

NOTES :

- 1) Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
- 2) Only copies from the original of this survey marked with an original of the Land Surveyor's inked seal or his/her embossed seal shall be considered to be valid true copies.
- 3) Subject to all rights of ways, covenants, easements, restrictions, conditions and agreements of record.
- 4) Subject to whatever state of facts a complete search of title may reveal.
- 5) Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Professional Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Said Certifications shall run only to the person so noted. Certifications are not transferable to additional institutions, their successors and/or assigns, or subsequent owners.
- 6) Subsurface structures not visible or readily apparent are not shown and their location and extent are not certified.
- 7) Highway Bounds along Mt. Zion Road shown as per Deed Liber 4505 at Page 222.

CONSOLIDATION MAP NOTE:

The purpose of this map is to consolidate Tax Map Parcel 102.3-2-26 with Tax Map Parcel 102.3-2-28 as conveyed in one Deed (Liber 4168 Page 021) and to confirm neither Lot shall be considered a separate building Lot.

MAP REFERENCE :

"Final Map of Subdivision of Lands of Geoffrey A. Dina and Karen Kramer Dina" filed with the Ulster County Clerk's Office on 21 December, 2007 as Filed Map No.07-395.

OWNER'S CERTIFICATION

The undersigned, owner or owner's authorized representative of the property shown on this plat, does hereby certify that he/she has reviewed this plat, is familiar with this map, its contents and its notes and hereby consents to all said terms and conditions as stated hereon and agrees to file this map with the Ulster County Clerk.

Signature _____ Date _____

Signature _____ Date _____

PLANNING BOARD ENDORSEMENT

Approved by resolution of the Planning Board of the Town of Marlborough, subject to all conditions and requirements of said resolution. Any change, erasure, modification, or revision of this plat as approved shall void this approval.

Chairperson - Town Planning Board _____ Date _____

CONSOLIDATION MAP OF LANDS OF

MATTHEW R. DINA & MELANIE DINA

- SITUATE -

TOWN OF MARLBOROUGH ULSTER COUNTY, NEW YORK



BROOKS & BROOKS
 Land Surveyors, P.C.

11 Main Street,
 Highland, NY 12528
 845-691-7339

Patricia Pauli Brooks, L.S. Registration No. 49795
 Richard C. Brooks, L.S. Registration No. 49600

I HEREBY CERTIFY that this map is a true representation of a survey performed by this office in the field on 31 August, 2006 in accordance with the existing codes of practice as adopted by the New York State Association of Professional Land Surveyors.

BY: Patricia Pauli Brooks, L.S. map check 1-11-19
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 07 January, 2019 PROJ#7409, DWG#7409-991r.DWG closure check 1-11-19