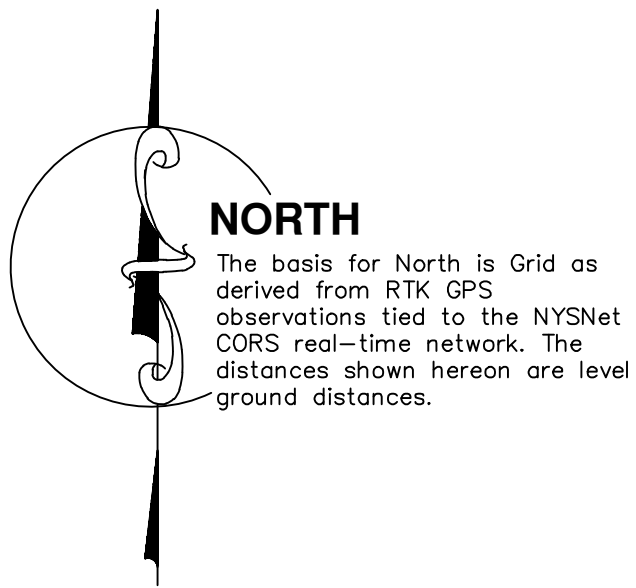


TABLE OF BULK REQUIREMENTS

ZONING DISTRICT	Required	Existing	Proposed
MINIMUM LOT AREA	2 ACRES	5.06 ACRES	5.06 ACRES
MINIMUM LOT WIDTH	200'	280'	280'
MINIMUM LOT DEPTH	200'	280'	280'
MINIMUM FRONTYARD SETBACK	75'	26.8'	N/A
MINIMUM SIDEYARD SETBACK	25' / 50'	55' / 4.4'	N/A
MINIMUM REARYARD SETBACK	75'	16.3'	N/A
MAXIMUM BUILDING HEIGHT	35'	29'	N/A
MAXIMUM BUILDING COVERAGE	40%	10%	N/A



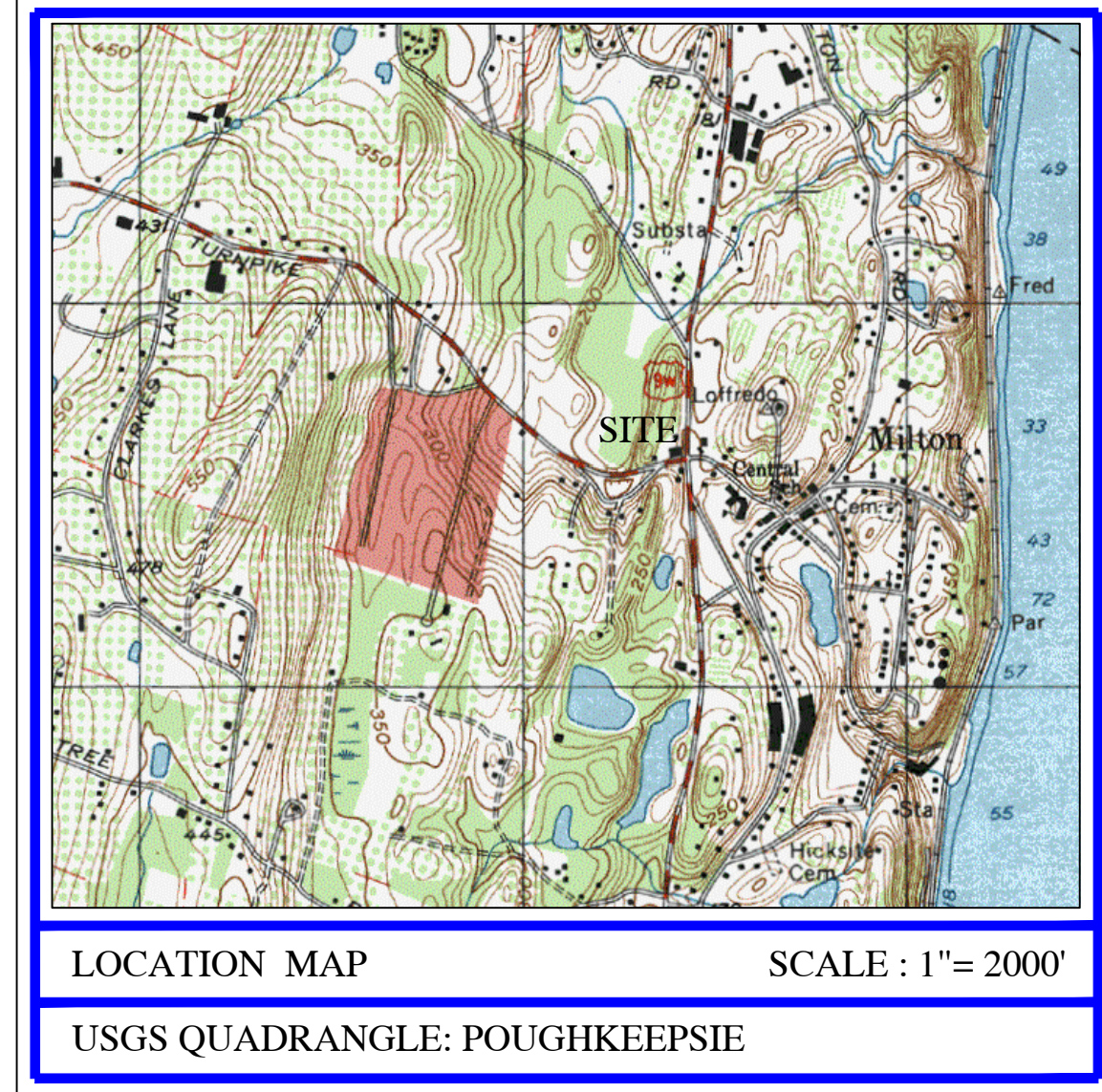
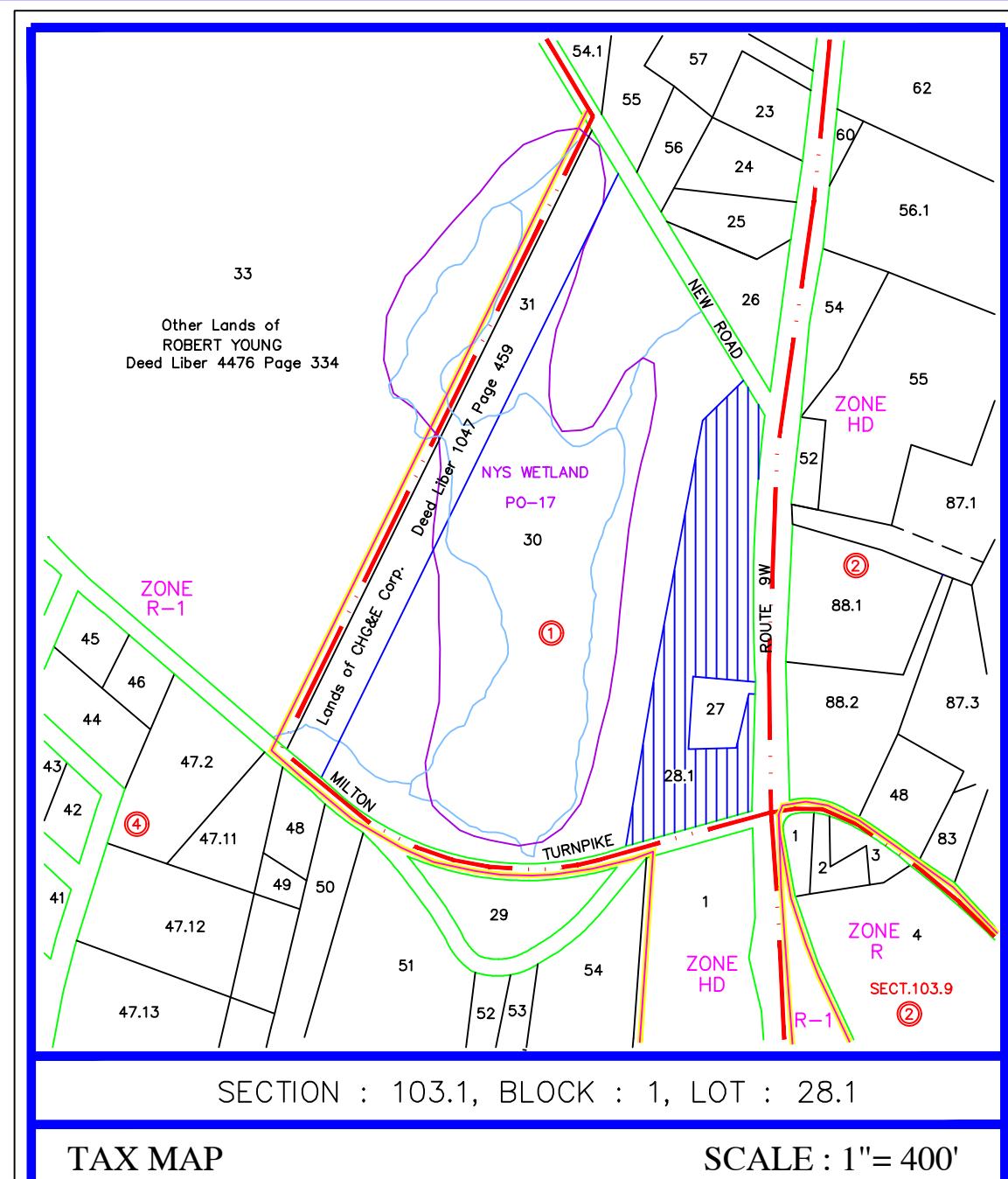
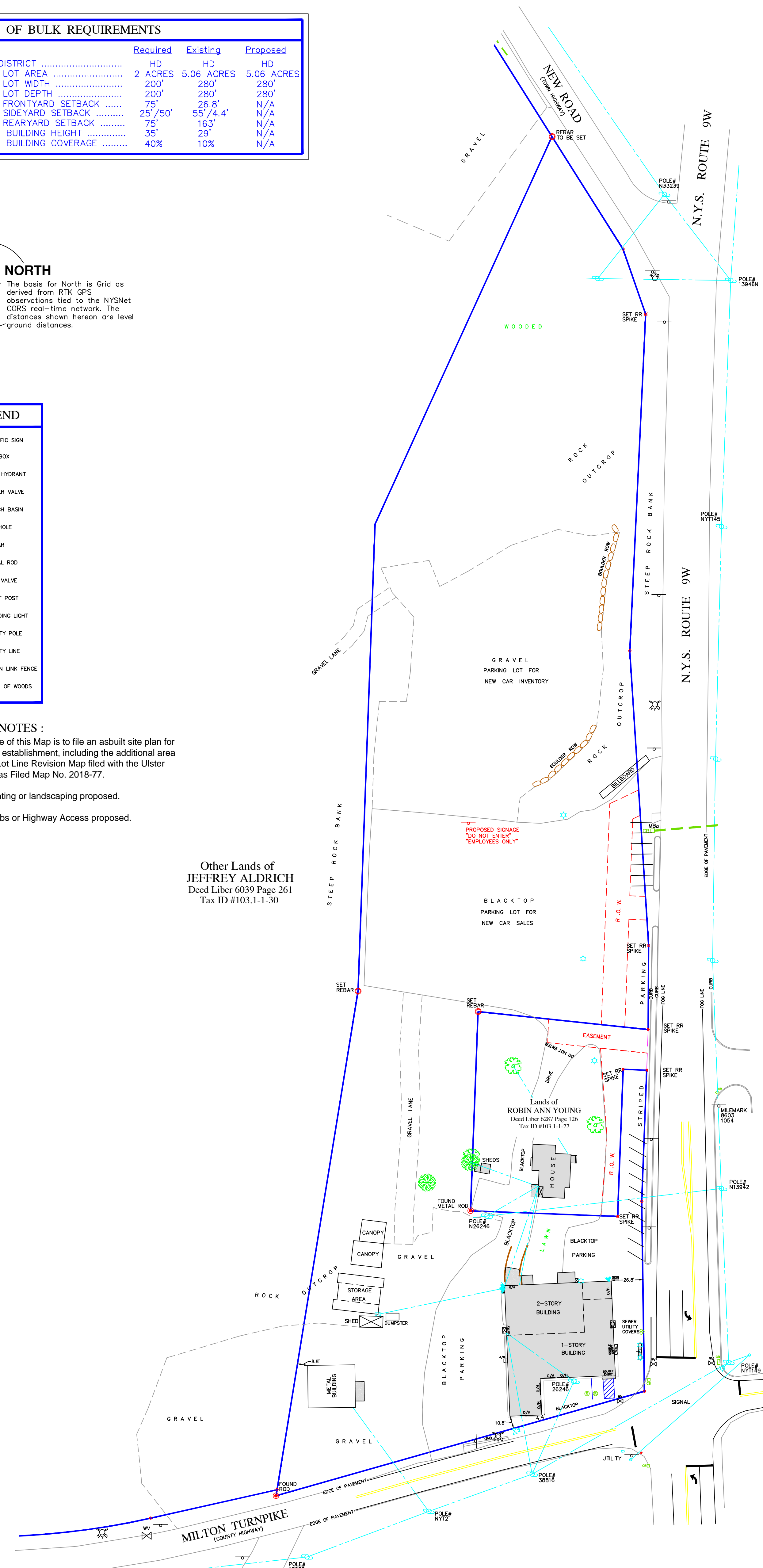
LEGEND

- TRAFFIC SIGN
- MAILBOX
- FIRE HYDRANT
- WATER VALVE
- CATCH BASIN
- MANHOLE
- REBAR
- METAL ROD
- GAS VALVE
- LIGHT POST
- BUILDING LIGHT
- UTILITY POLE
- UTILITY LINE
- CHAIN LINK FENCE
- EDGE OF WOODS

SITE PLAN NOTES :

- The purpose of this Map is to file an asbuilt site plan for the applicants establishment, including the additional area acquired per Lot Line Revision Map filed with the Ulster County Clerk as Filed Map No. 2018-77.
- No new lighting or landscaping proposed.
- No new curbs or Highway Access proposed.

Other Lands of
JEFFREY ALDRICH
Deed Liber 6039 Page 261
Tax ID #103.1-1-30



- NOTES :**
- Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
 - Only copies from the original of this survey marked with an original of the Land Surveyor's inked seal or his/her embossed seal shall be considered to be valid true copies.
 - Subject to all rights of ways, covenants, easements, restrictions, conditions and agreements of record.
 - Subject to whatever state of facts a complete search of title may reveal.
 - Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Professional Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Said Certifications shall run only to the person so noted. Certifications are not transferable to additional institutions, their successors and/or assigns, or subsequent owners.
 - Subsurface structures not visible or readily apparent are not shown and their location and extent are not certified.
 - Road line along New Road and Milton Turnpike based on a 3 rod road. Road line along NYS Route 9W based on Reference Map 2.
 - Parcel served by Municipal water & sewer.
 - Parcel contains NYS Regulated Wetlands, not shown hereon, and is thereby subject to all regulations promulgated thereunder.
 - Survey update performed with snow conditions of 2"-4" of cover.
 - 2' Contours and Elevations based on NYS GIS 2014 Lidar dataset and 2015 topographic 1 meter DEM, with field topography in the northerly gravel parking lot area.
 - Right of Ways and Easements shown as per Map Reference 3 and Deed Liber 6287 Page 126.

- MAP REFERENCE :**
- "Property of Robert S. Young" last amended 16 May, 1968 by John Drumgould, L.S.
 - NYS DOT Highway Map S.H. 5001 Map 7, dated December 1928
 - "Map of Lot Line Revision Between Lands of Jeffrey Aldrich and Lands of Young's 9W Plymouth, Inc." filed with the Ulster County Clerks Office on 17 April, 2018 as Filed Map No. 2018-77.

DEED REFERENCE :
Jeffrey Aldrich
Young's 9W Plymouth, Inc.
- to -
1871 Route 9W Realty, LLC
Deed Liber 6313 Page 222
Dated 30 May, 2018
Filed 02 July, 2018

RECORD OWNER:
1871 Route 9W Realty, LLC
c/o Drew Picon
1871 Route 9W
Milton, NY 12547

OWNER'S CERTIFICATION

The undersigned, owner or owner's authorized representative of the property shown on this plot, does hereby certify that he/she has reviewed this plot, is familiar with this map, its contents and its notes and hereby consents to all said terms and conditions as stated hereon.

Signature _____ Date _____

PLANNING BOARD ENDORSEMENT

ASBUILT MAP OF SITE PLAN OF LANDS OF YOUNG'S MOTORS

- SITUATE -
TOWN OF MARLBOROUGH ULSTER COUNTY, NEW YORK

GRAPHIC SCALE (IN FEET)
1 inch = 50 ft.

Brooks & Brooks Land Surveyors, P.C.
11 Main Street, Highland, NY 12528, 845-691-7339

Patricia Pauli Brooks, L.S. Registration No. 49795
Richard C. Brooks, L.S. Registration No. 49600

I HEREBY CERTIFY that this map is a true representation of a survey performed by this office in the field in June, 2013 and updated 07 February 2018, in accordance with the existing codes of practice as adopted by the New York State Association of Professional Land Surveyors.

BY: Patricia Pauli Brooks, L.S. map check 2-22-18
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21 February, 2018 PROJ8153, DWG#8153JLR.DWG

REVISED: 25 January, 2019 - update owner
REVISED: 10 April, 2018 - Proposed ROW 1&2, Revised Easement, note 13
REVISED: 08 March, 2018 - bounds, ROW, notes

